

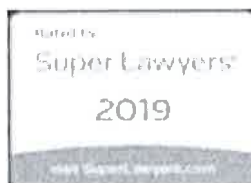
Speth, Naadira

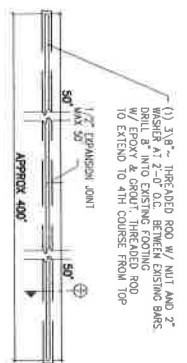
To: Daniel Coultoff
Subject: FW: Meritage Homes / Ellingsworth Residential Community Association, Inc.
Attachments: CR1_006_C6_SUBDIVISIONSITEPLAN.PDF; HAMPTON WALL REPAIR.PDF; HAMPTON WALL REPAIR-signed.pdf; noticeofcommencement.pdf; BP-Plans,Parcel# 3621315030G000000,Permit# 1500004231,IMB# SBD....pdf; CR1_005_C5_GEOMETRYPLAN.PDF; noticeofcommencement.pdf; Settlement Agreement.doc; 2019 04-25 Ltr. to Scott Kiernan.pdf

Scott,

Please see attached site plan and engineering for the proposed wall repair as discussed. The marked up site plan shows the wall in green that was previously repaired using the revised engineering and in Red for the remaining section that needs to be rebuilt.

Daniel H. Coultoff, Esquire
Latham, Shuker, Eden and Beaudine, LLP
111 North Magnolia Ave., Suite 1400
Orlando, Florida 32801
(407) 481-5845 (p)
(407) 481-5801 (f)
(407) 617-1690 (c)
Coultoff@lseblaw.com
www.lseblaw.com

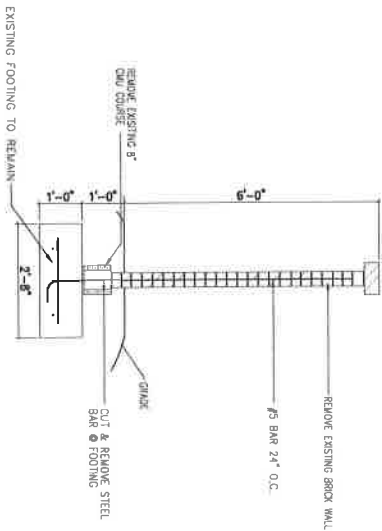




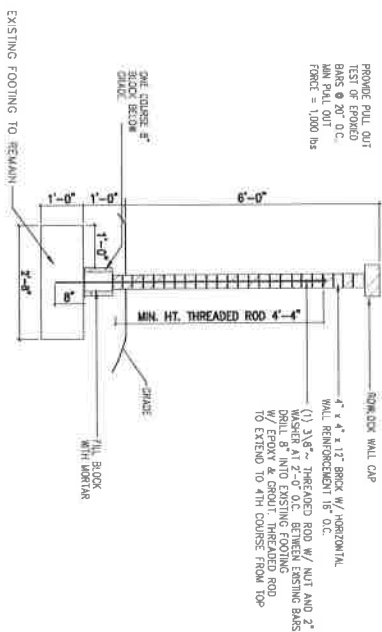
PLAN VIEW
SCALE: 1/2"=1'-0"

DESIGN WIND LOAD: 140 MPH
FLORIDA BUILDING CODE 2017 6th EDITION
CONCRETE: 2500 PSI @ 28 DAYS
STEEL GRADE: 60
WATER/CEMENT RATIO: 0.45
ASSUMED SOIL BEARING CAPACITY: 1,500 PSF
1. WIND IMPORTANCE FACTOR: 1.0
2. EXPOSURE CATEGORY: B
3. WIND EXPOSURE: B
4. INTERNAL PRESSURE COEFFICIENT: 1.0
5. COMPONENTS AND CLADDING: N/A

ELEVATION
SCALE: 1/2"=1'-0"



EXISTING WALL SECTION
SCALE: 1/2"=1'-0"



WALL SECTION @ 6'-0"
SCALE: 1/2"=1'-0"

Approved By:

Daniel L. Bumpus
AR 0008045

Date

BUMPUS AND ASSOCIATES, INC.
ARCHITECTURE • INTERIOR DESIGN

www.bumpusandassociates.com

401 FRONT STREET
CELEBRATION, FLORIDA 34747
AR 0008051

PH (407) - 566-1074
FAX (407) - 566-0322
AR 0008055

#	REVISIONS	DATE	BY

**BRICKWALL
REPLACEMENT**
HAMPTON ESTATES
OLD LOCKWOOD RD
OVEIDO, FL

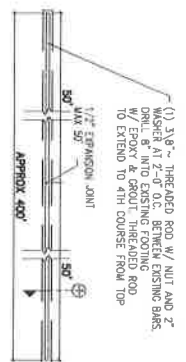
OWNER: SFC JPMO: DLR

DATE:
03/27/19

SCALE:
AS SHOWN

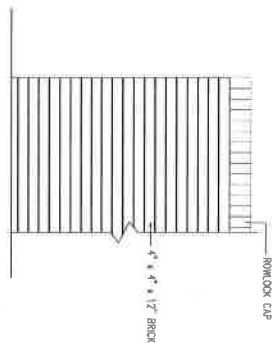
JOB NUMBER:
19121

SHEET:
1

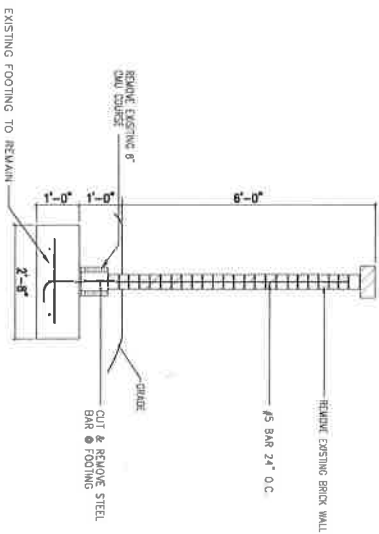


PLAN VIEW
SCALE: 1/4\"/>

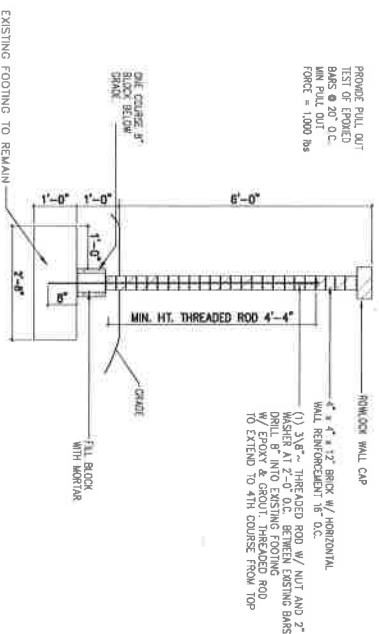
DESIGN WIND LOAD: 140 MPH
FLORIDA BUILDING CODE 2017 6th EDITION
CONCRETE: 2500 PSI @ 28 DAYS
MORTAR: 3500 PSI @ 28 DAYS
MORTAR TYPE S
ASSUMED SOIL BEARING CAPACITY: 1500 PSF
1. WIND IMPORTANCE FACTOR: 1.0
2. WIND EXPOSURE: B
3. WIND EXPOSURE: B
4. INTERNAL PRESSURE COEFFICIENT: 1.0
5. COMPONENTS AND CLADDING: N/A



ELEVATION
SCALE: 1/2\"/>



EXISTING WALL SECTION
SCALE: 1/2\"/>



WALL SECTION @ 6'-0\"/>

#	REVISIONS	DATE	BY

BUMPUS AND ASSOCIATES, INC.
ARCHITECTURE • INTERIOR DESIGN
www.BUMPUSANDASSOCIATES.com
803 FRONT STREET
CELEBRATION, FLORIDA 34747
AA C002051
Ph: (407) • 566 • 1330
Fax: (407) • 566 • 0227
AR 000045

Approved By:

Daniel L. Bumpus
AR 000045
Date: _____

BRICKWALL REPLACEMENT
HAMPTON ESTATES
OLD LOCKWOOD RD
OVEIDO, FL

OWNER: SC
ARCH: DLA
DATE: 03/27/19
SCALE: AS SHOWN
JOB NUMBER: 19121
8-KEEN
1

THIS INSTRUMENT PREPARED BY:

Name: Ovida Construction Group- Karina Ruiz

Address: 2785 Wright Road Suite 1117

Oviedo FL 32765

NOTICE OF COMMENCEMENT

Permit Number: _____

Parcel ID Number: 36-21-31-503-0G00-0000

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY: (Legal description of the property and street address if available)

TRACT G HAMPTON ESTATES PB 79 PGS 37 TO 40

2300 Brickell Place Oviedo FL 32765

2. GENERAL DESCRIPTION OF IMPROVEMENT:

Repair portion of subdivision wall

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name and address: Ellingsworth Residential Community Assn Inc 1320 N Semoran Blvd Ste 100 Orlando FL 32807

Interest in property: Owner

Fee Simple Title Holder (if other than owner listed above) Name: _____

Address: _____

4. CONTRACTOR: Name: Ovida Construction Group, Inc.

Phone Number: 407-571-9058

Address: 2785 Wrights Road Suite 1117 Oviedo FL 32765

5. SURETY (If applicable, a copy of the payment bond is attached): Name: _____

Address: _____

Amount of Bond: _____

6. LENDER: Name: _____

Phone Number: _____

Address: _____

7. Persons within the State of Florida Designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name: _____

Phone Number: _____

Address: _____

8. In addition, Owner designates _____ of _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes. Phone number: _____

9. Expiration Date of Notice of Commencement (The expiration is 1 year from date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)

(Print Name and Provide Signatory's Title/Office)

State of _____ County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____

by _____, Who is personally known to me ☐ OR

Name of person making statement

who has produced identification ☐ type of identification produced: _____

SEAL

Notary Signature

Hampton Estates

Parcel ID # 36-21-31-300-001F-000
36-21-31-300-001G-000

Seminole County, Florida

Hardscape Construction Plans

Prepared for:

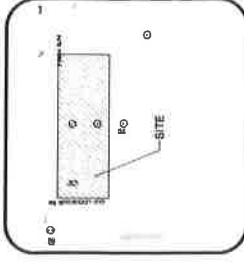
Meritage Homes

5337 Millenia Lake Blvd. Suite 160
Orlando, Florida 32839

November 2014

Revised December 2014

Revised April 2015



Location Map

SEMINOLE COUNTY
BUILDING FIRE PREVENTION DIVISION

OFFICE COPY

SHEET INDEX

K 100
H 101-102
H 201-202

KEY SHEET
HARDSCAPE PLANS
HARDSCAPE DETAILS

Hampton Estates is located at Parcel ID # 36-21-31-300-001F-000.

SEMINOLE COUNTY

APPROVED FOR CONSTRUCTION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE SEMINOLE COUNTY ENGINEER.

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE SEMINOLE COUNTY ENGINEER.

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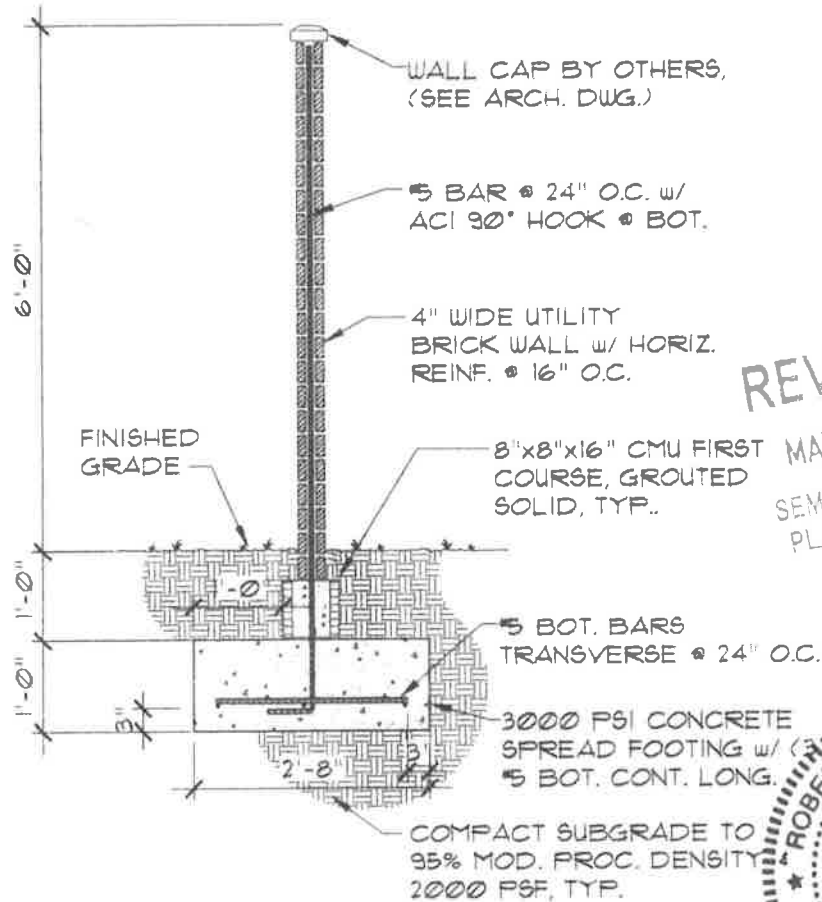
THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE SEMINOLE COUNTY ENGINEER.

daly design group inc.

Land Planning • Landscape Architecture • Project Management

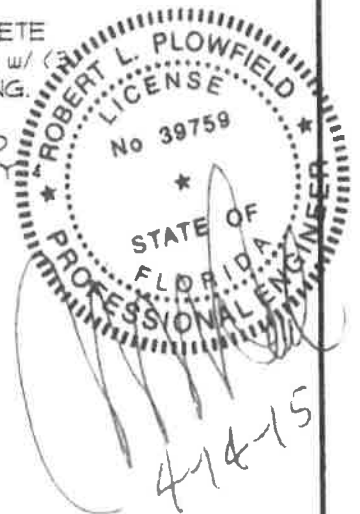
913 N Pennsylvania Ave, Winter Park, Florida 32789

Phone 407.740.7373 • www.dalydesign.com



REVIEWED

MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER

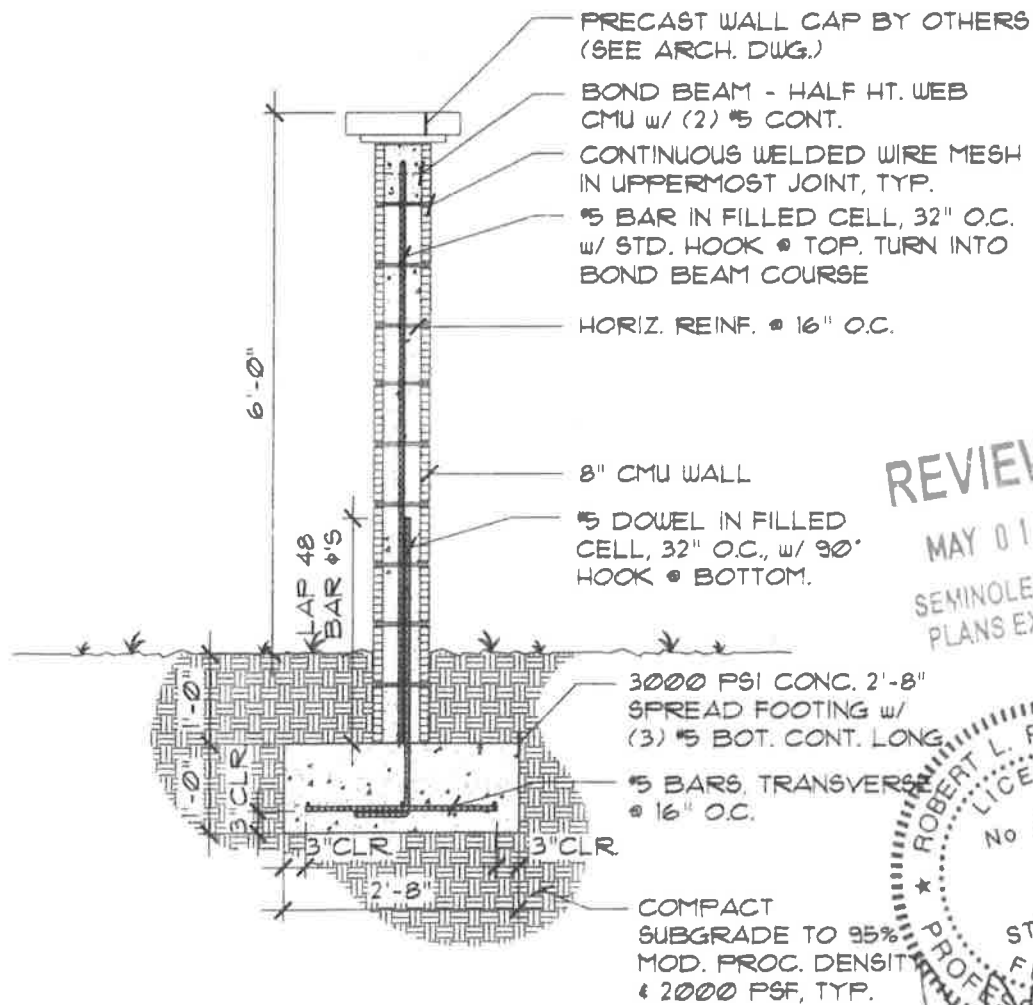


SCREEN WALL SECTION

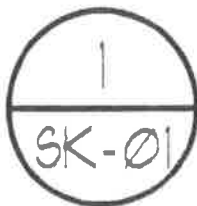
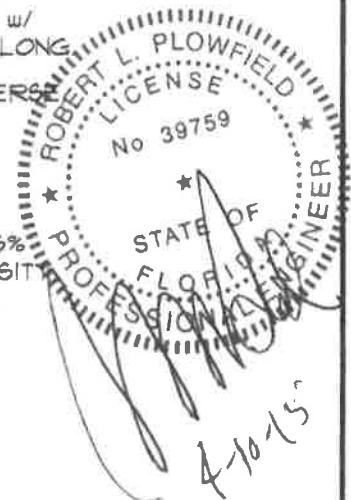
SCALE: 1/2" = 1'-0"

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH 2010 FLORIDA BUILDING CODE SECTION 1609 FOR $V_{ult}=140$ MPH AND $V_{asd}=108$ MPH WINDS, TYP.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC		
CHECKED BY: RLP	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	SK-06
DATE: 4-8-2015		



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MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER

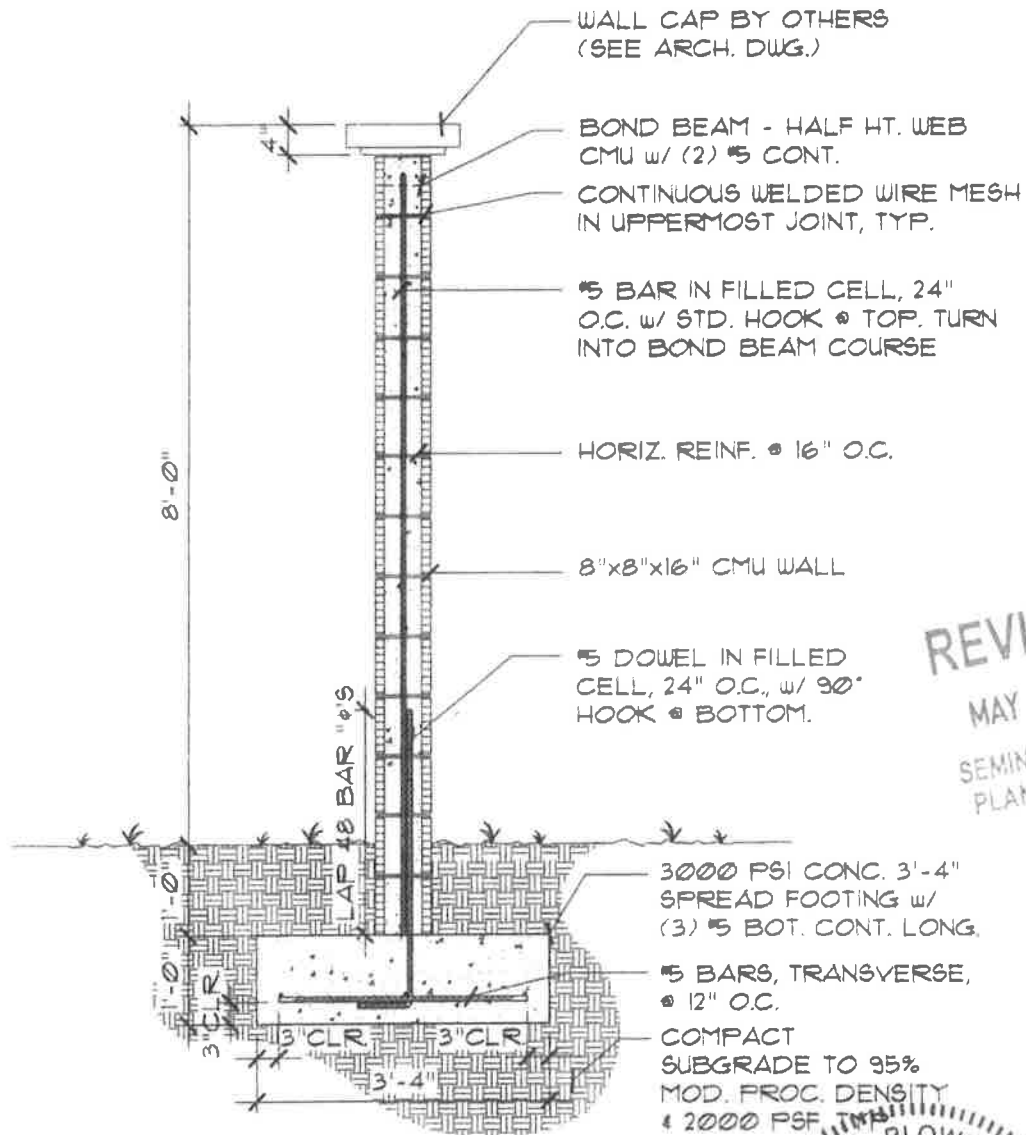


MASONRY STUCCO WALL SECTION

SCALE: 1/2" = 1'-0"

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH 2010 FLORIDA BUILDING CODE SECTION 1609 FOR Vult=140 MPH AND Vasd=108 MPH WINDS, TYP.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	SK-01
CHECKED BY: RLP		
DATE: 4-8-2015		



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MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER



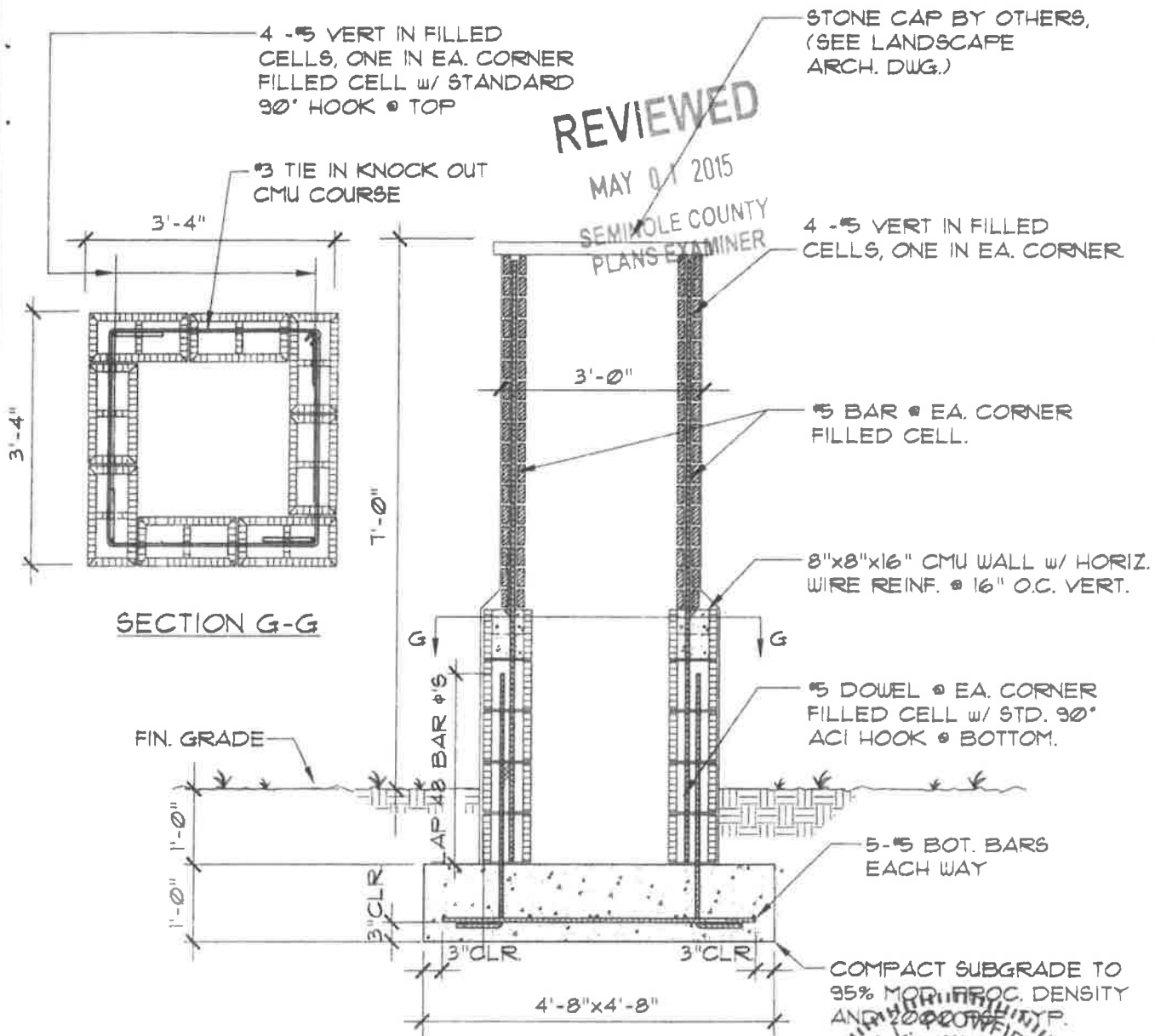
SIGN WALL SECTION

SCALE: 1/2" = 1'-0"



NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH 2010 FLORIDA BUILDING CODE SECTION 1609 FOR Vult=140 MPH AND Vasd=108 MPH WINDS, TYP.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC		
CHECKED BY: RLP	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	SK-02
DATE: 4-8-2015		



1
SK-03

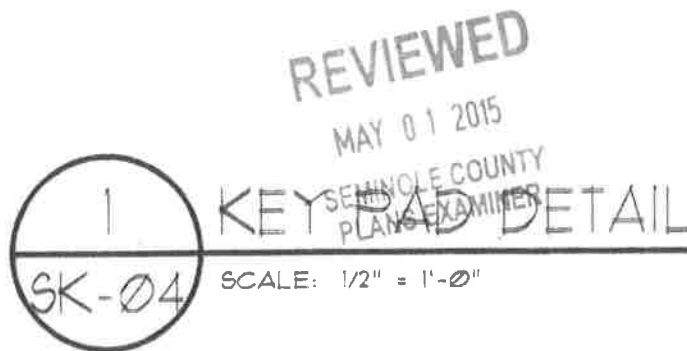
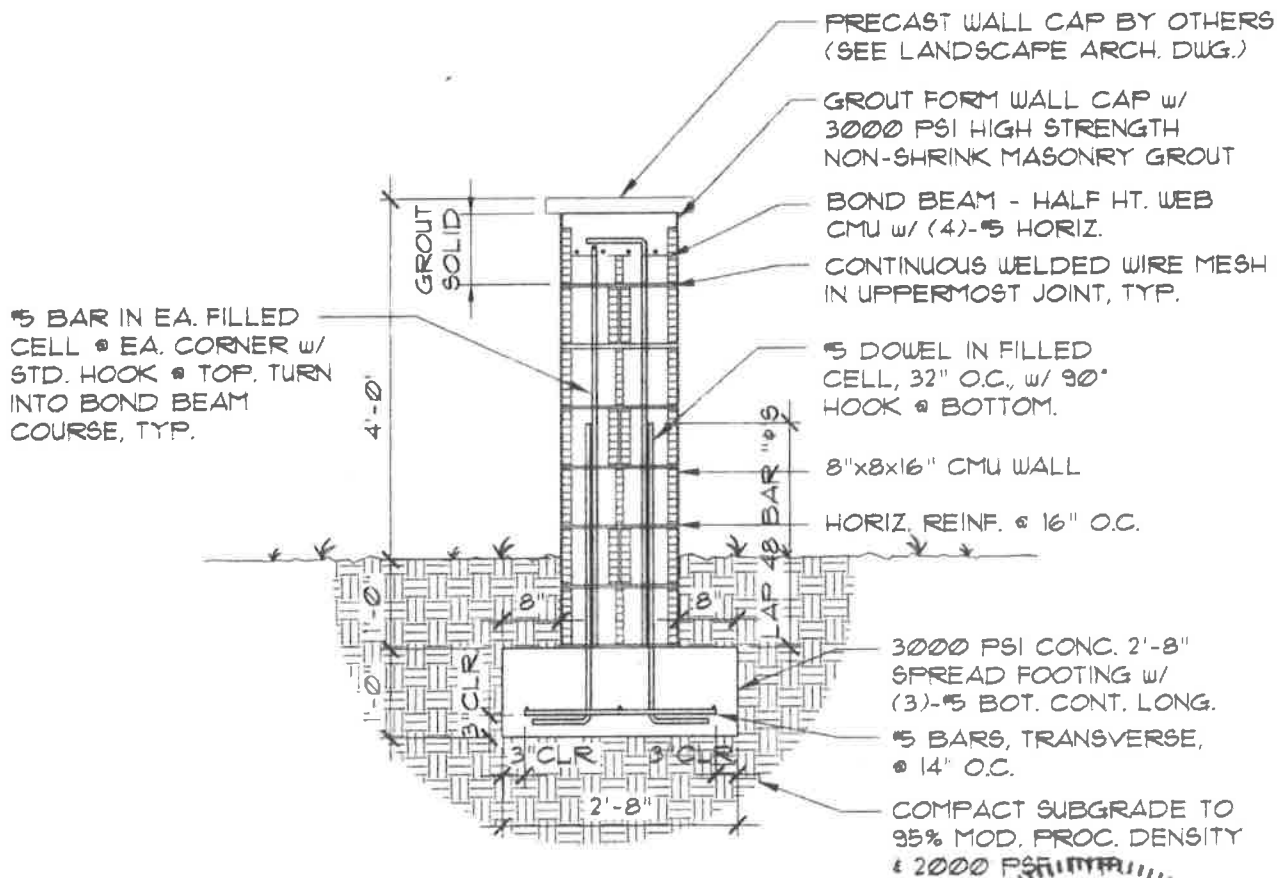
COLUMN "A" SECTION

SCALE: 1/2" = 1'-0"



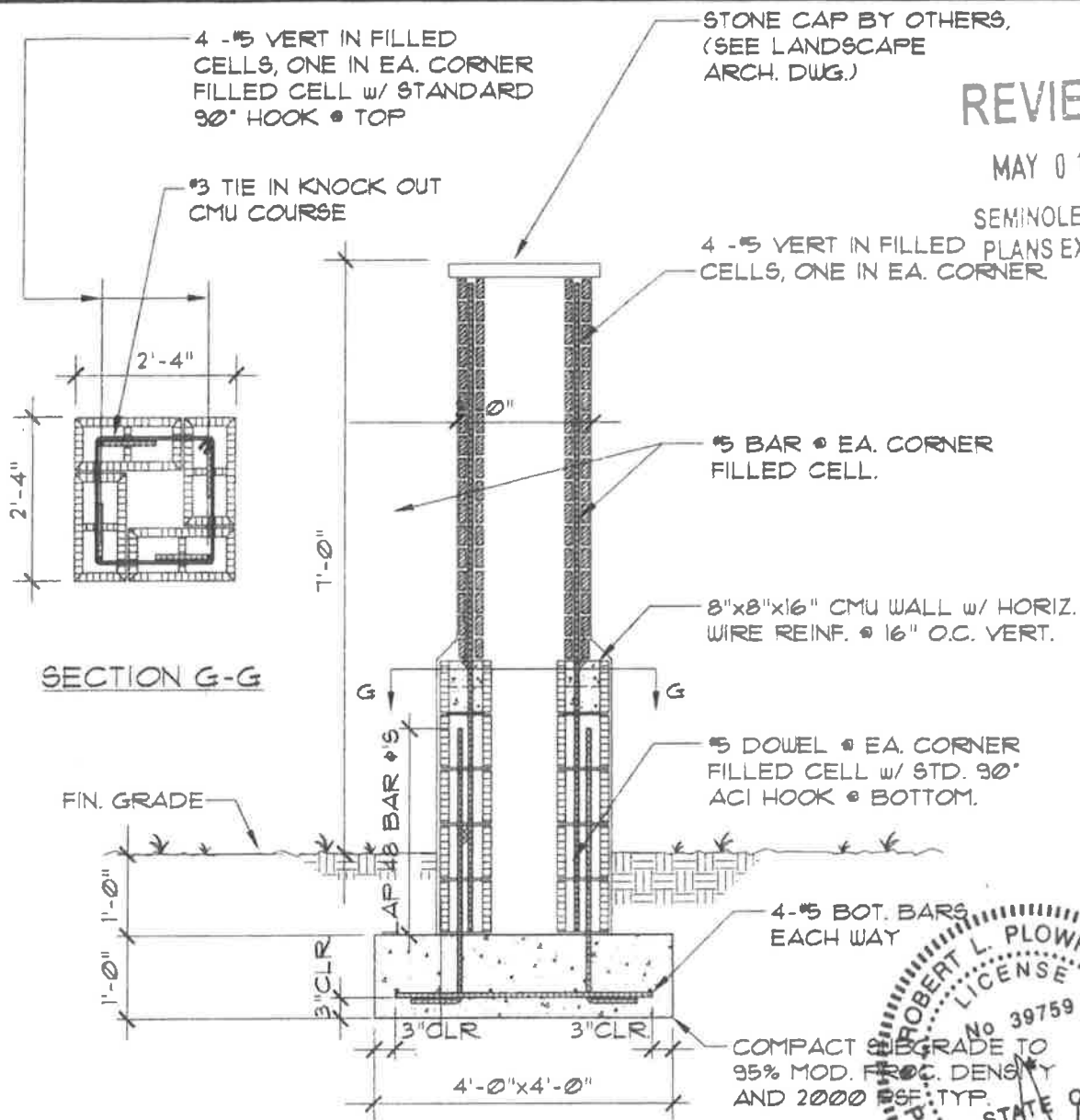
NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH BUILDING CODE SECTION 1609 FOR Vult=140 MPH AND Vasd=108 MPH WINDS.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC		
CHECKED BY: RLP	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	SK-03
DATE: 4-8-2015		



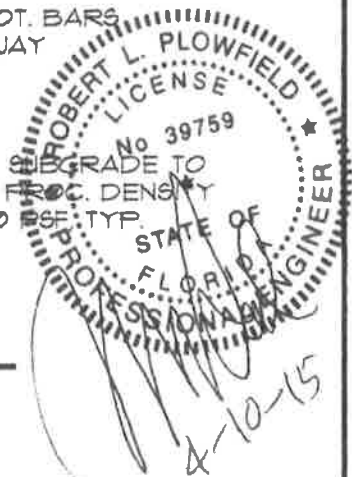
NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH 2010 FLORIDA BUILDING CODE SECTION 1609 FOR Vult=140 MPH AND Vasd=108 MPH WINDS, TYP.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC		
CHECKED BY: RLP	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	
DATE: 4-8-2015		SK-04



COLUMN "B" SECTION

SCALE: 1/2" = 1'-0"



NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH 2010 FLORIDA BUILDING CODE SECTION 1609 FOR $V_{ult}=140$ MPH AND $V_{asd}=108$ MPH WINDS, TYP.

PROJECT NO.: 15999	PROJECT: Hampton Estates Hardscape Elements Seminole County, Florida	Robert L. Plowfield, Jr., P.E. FL Registration No. 39759
DRAWN BY: NLC	R. L. PLOWFIELD & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS 1073 Willa Springs Drive #2061, Winter Springs, Florida 32708 Phone: (407) 657-6657 Fax: (407) 657-8480 Eng. Business #6295 e-mail: contact@plowfieldandassociates.com	SK-05
CHECKED BY: RLP		
DATE: 4-8-2015		

GENERAL NOTES

CODES AND STANDARDS

- * STRUCTURAL DESIGN BASED ON THE 2010 FLORIDA BUILDING CODE (FBC)
- * MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES ASCE 7
- * BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE ACI 318

DESIGN

- * WIND SPEED = 130 MPH (3sec Gust)
- * EXPOSURE - B
- * $K_d = 0.85$
- * F_s (Overturning) = 1.5
- * CONSTRUCTION TYPE - I or II (noncombustible materials)

SOIL

- * MINIMUM SOIL WEIGHT OF 110 PCF
- * SOIL FRICTION ANGLE OF 30 DEGREES
- * ALLOWABLE BEARING CAPACITY = 2,000 PSF
- * BLOWS / FOOT N = 6

REINFORCING STEEL

- * DEFORMED REINFORCING BARS PER ASTM A615 GRADE 60
- * STRUCTURAL STEEL PER ASTM A992 GRADE 50

CONCRETE

- * MINIMUM 28 DAY COMPRESSIVE STRENGTH OF PRECAST ELEMENTS $F'_c = 5000 \text{ psi}$
- * CEMENT PER ASTM C-150 TYPE 1
- * NORMAL WEIGHT AGGREGATE FINE AND COARSE AGGREGATE MEETING ASTM C33 MAXIMUM AGGREGATE SIZE OF $3/4"$
- * PROHIBITED ADMIXTURES: CALCIUM CHLORIDE, THIOCYANATE OR ADMIXTURES CONTAINING MORE THAN 0.05 PERCENT CHLORIDE IONS ARE NOT PERMITTED. NO ADMIXTURE SHALL CAUSE AN INCREASE IN SHRINKAGE WHEN TESTED IN ACCORDANCE WITH ASTM C494 AND C157
- * MINIMUM CONCRETE COVERAGE FOR REINFORCEMENT SHALL BE AS FOLLOWS

PRECAST PANELS $3/4"$

PRECAST POSTS $1-1/4"$ (#3 - #5 REBAR)

PRECAST POSTS $1-1/2"$ (#6 AND LARGER REBAR)

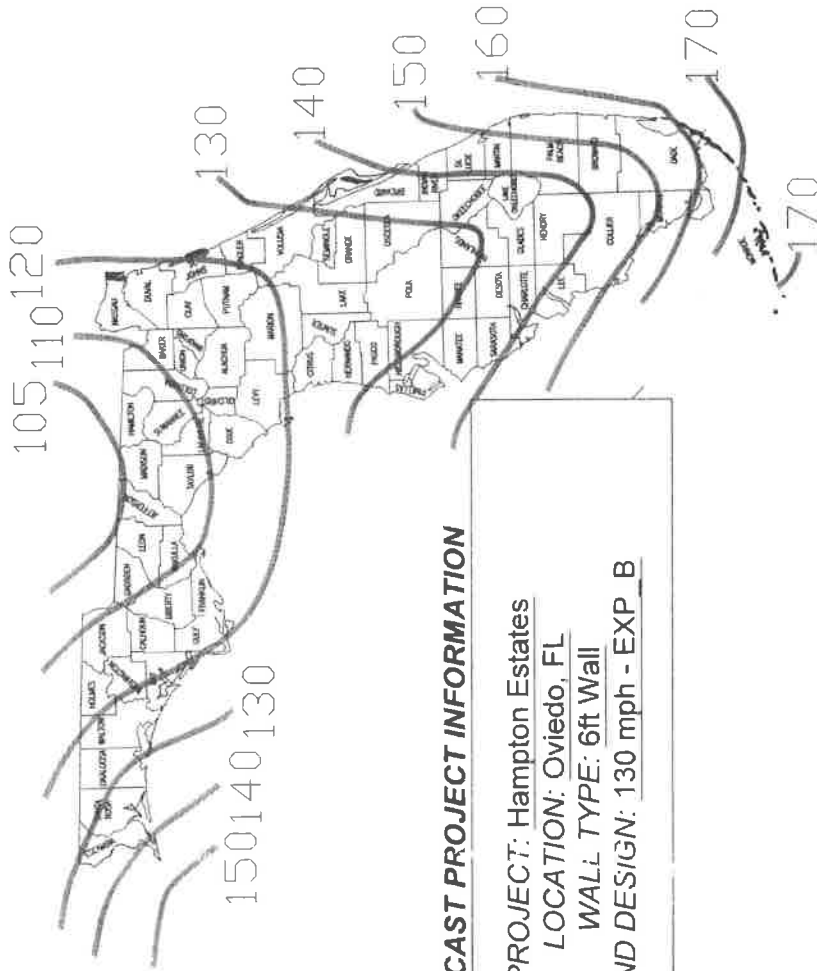
- * DISCHARGE OF THE CONCRETE SHALL BE COMPLETED WITHIN 1-1/2 HOURS OR BEFORE THE DRUM HAS REVOLVED 300 REVOLUTIONS, WHICHEVER COMES FIRST, AFTER THE INTRODUCTION OF THE MIXING WATER TO THE CEMENT AND AGGREGATES OR THE INTRODUCTION OF THE CEMENT TO THE AGGREGATES.
- * WATER SHALL NOT BE ADDED IN THE FIELD UNLESS APPROVED BY ENGINEER

SURFACE FINISH

- * THESE DRAWINGS DO NOT ADDRESS SURFACE FINISH OF THE PRECAST WALL OR ANY PRECAST ELEMENTS. ALL FINISHES ARE ASSUMED TO BE GRAY CONCRETE. ANY FINISHES SHALL BE BY OTHERS OR UNDER SEPARATE SPECIFICATIONS.

UTILITIES

- * THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR BEFORE APPROVAL OF DRAWINGS.



PERMACAST PROJECT INFORMATION

PROJECT: Hampton Estates

LOCATION: Oviedo, FL

WALL TYPE: 6ft Wall

WIND DESIGN: 130 mph - EXP_B

REVIEWED

MAY 01 2015

SEMINOLE COUNTY
PLANNING EXAMINER



To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code

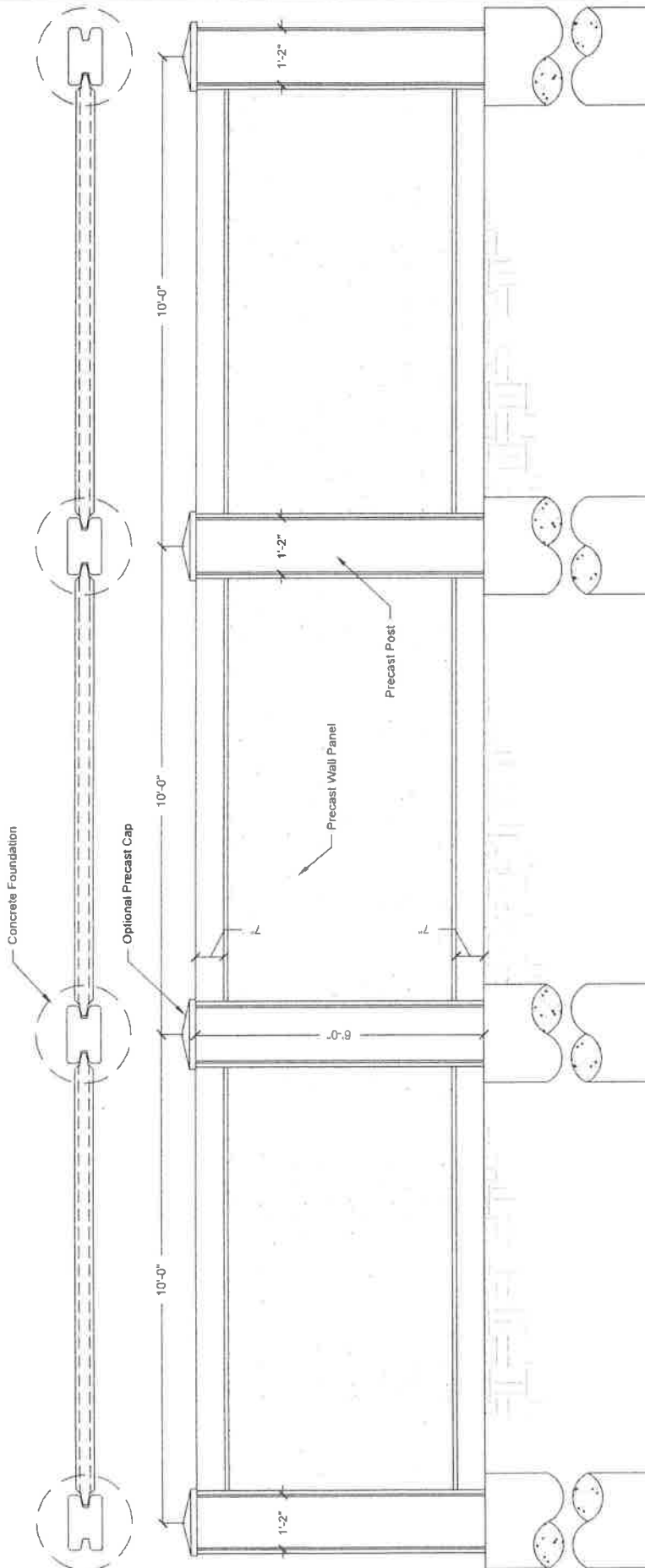
0615 2nd Street East
Oviedo, FL 32767
www.permacastwall.com

PERMACAST

Florida Engineering
Today's Ideas • Tomorrow's Results
C.A. No. 26000 - 18000 County St. - Oviedo, FL 32767
PH: 321-588-3311 FX: 321-588-3411 www.floridaing.com

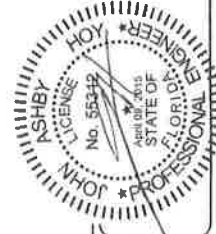
Revisions

Hampton Estates Old Lockwood Rd. Oviedo, Florida							
DWG BY	JA	CHK	JH	Drawing 1 OF 7			
DATE	4/8/15	JOB NO		4010			



REVISED
MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER

TYPICAL WALL ELEVATION
SCALE: 1/2" = 1'-0"



To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code.

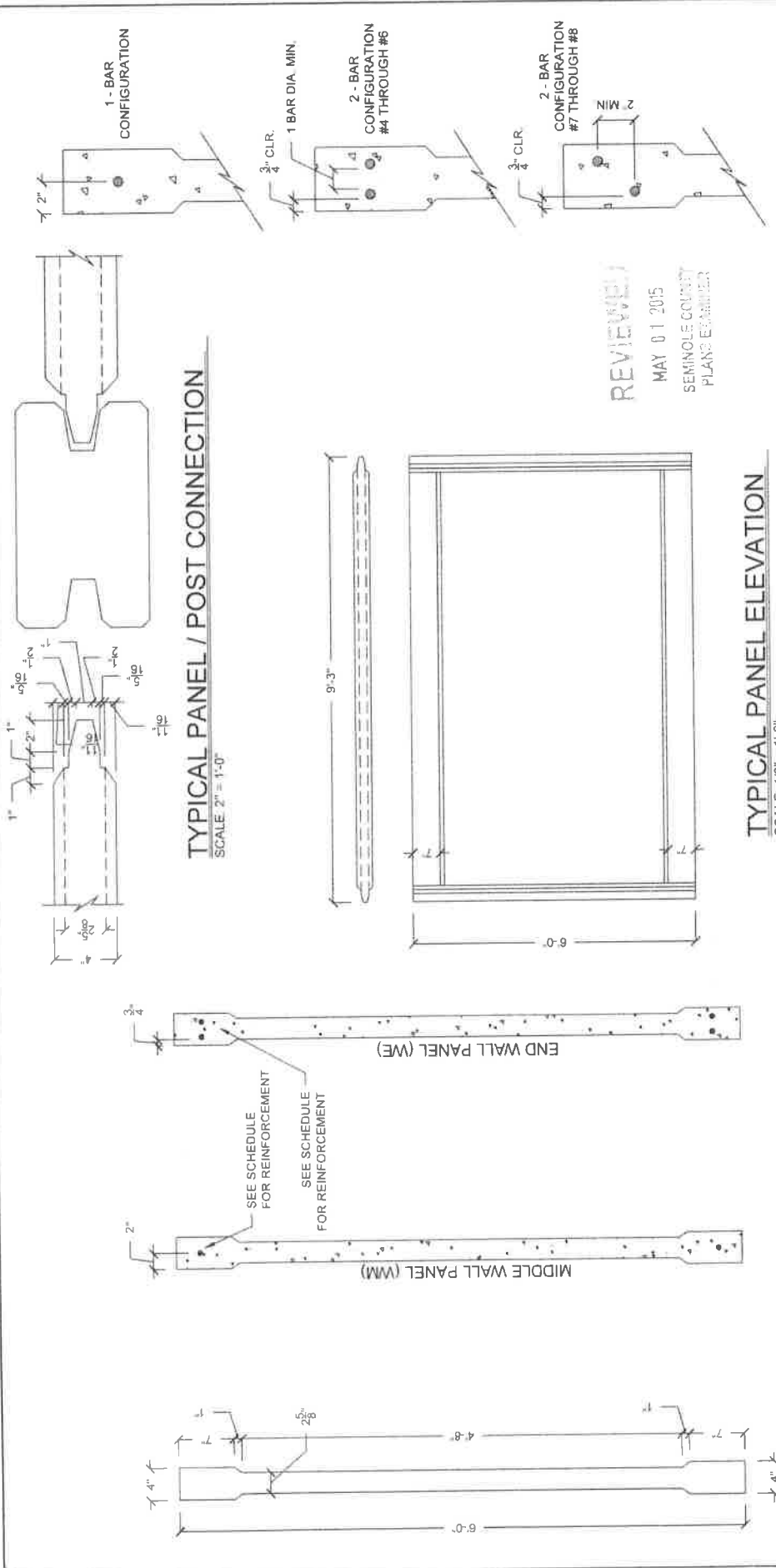
Hampton Estates Old Lockwood Rd. Oviedo, Florida		DWG BY: JA	CHK: JH	JOB NO: 4010	Drawing 2 OF 7
DATE: 4/8/15					

6015 21st Street East
St. Petersburg, FL 34711
PH: 841 7250-8007
www.permacasthills.com

PERMACAST
PERMACASTHILLS.COM

Florida Engineering Solutions
Today's Ideas • Tomorrow's Results
C.A. No. 24329 • 15200 Curlew St. • Suite 105 • San Antonio, TX 78256
PH: 202 1688 • 3711 TX 202 1500 • 5411 www.florida-engineering.com

Revisions	
A	
A	
A	



REVIEWED
MAY 01 2015
SEMINOLE COUNTY
PLANNING EXAMINER

REINFORCEMENT DETAILS
SCALE: 2" = 1'-0"

TYPICAL PANEL ELEVATION
SCALE: 1/2" = 1'-0"

TYPICAL PANEL SECTIONS
SCALE: 1" = 1'-0"

To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code.

Florida Engineering Solutions Today's ideas. Tomorrow's results. C.S. No. 2,598 - 5311 Fx. 352.7.546 - 5411 www.floridaing.com		6015 21st Street East Ft. Lauderdale, FL 33307 www.floridaing.com	HAMPTON ESTATES Old Lockwood Rd. Oviedo, Florida
Revisions:		DWG BY: JJA DATE: 4/8/15	CHK: JH JOB NO: 4010
3 OF 7		Drawing	



SCALE: 2" = 1'-0"

SCALE: 2" = 1'-0"

SEMINOLE COUNTY
PLANS EXAMINERRevisions

To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code.

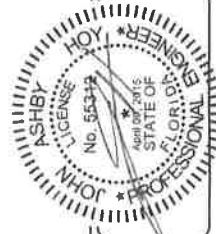
Florida Engineering
SOLUTIONS

Today's Ideas • Tomorrow's Results

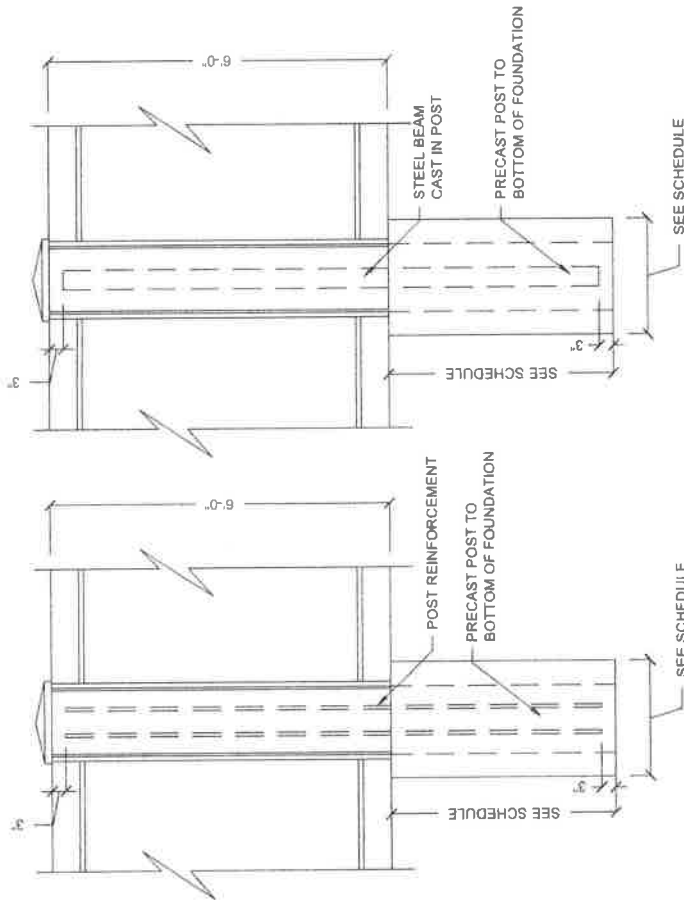
C.A. No. 26320 • 12820 Curry St. • Suite 105, San Antonio, FL 33576
Ph. 502-524-5111 • 352-7486 • 8411 • www.flsolutions.com

PERMCAST

6015 21st Street East
Bradenton, Florida
FW 941 / 256 - 6087



DWG BY	JA	CHK	JH	Drawing 4 OF 7
DATE	4/8/15	JOB NO	4010	

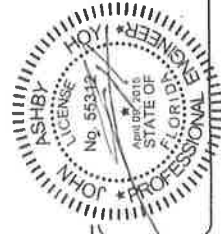


REVIEWED

MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER

TYPICAL FOUNDATION DETAIL

SCALE: 1/2" = 1'-0"



To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code

DWG BY	JA	CHK	JH	DATE	4/8/15	JCN NO	4010	5 OF 7
Hampton Estates Old Lockwood Rd. Oviedo, Florida								5 OF 7

6010, 21st Street East
Tampa, Florida
PH: 941 / 256 - 1887
www.permacast.com

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Florida Engineering Solutions
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C.E. No. 20500 - 14200 Cady St. - Suite 100 - San Antonio, TX 78216
PH: 202 / 588 - 5511 FX: 202 / 588 - 5411 www.floridaing.com

REVISIONS	
Δ	
Δ	
Δ	

6FT WALL - 130 MPH - EXPOSURE B

PERMACAST PRECAST PANEL REINFORCEMENT SCHEDULE			
	TOP BULB	BOTTOM BULB	WEB
MIDDLE WALL (WM)	1 - #4	1 - #4	6lb / CY FORTA FERRO FIBER
END WALL (WE)	1 - #5	1 - #5	6lb / CY FORTA FERRO FIBER

PERMACAST PRECAST POST REINFORCEMENT SCHEDULE		
	POST	STEEL BEAM
LINE POST MIDDLE WALL (PM)	4 - #4's	N/A
LINE POST END WALL (PE)	4 - #4's	N/A
END POST END WALL (PE)	4 - #4's	N/A

PERMACAST CONCRETE FOUNDATION SCHEDULE		
	SIZE	DEPTH
MIDDLE WALL (FM)	24" DIA.	35"
	30" DIA.	32"
	36" DIA.	30"
END WALL (FE)	24" DIA.	42"
	30" DIA.	38"
	36" DIA.	35"

WALL SCHEDULE

SCALE: N.T.S.

To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code.



6015 21st Street East
 Fort Lauderdale, FL 33322
 Ph: 954.725.0067
 www.fortlauderdale.com



Florida Engineering Solutions
 Today's Ideas • Tomorrow's Results
 C.A. No. 26300 • 12000 Curry St. • Suite 105 • San Antonio, TX 78216
 PH: 214.527.5881 • 527.1111 • 214.527.5881 • www.floridaing.com

Revisions	
1	
2	
3	

SEE DRAWING 7 FOR MIDDLE AND END WALL LAYOUT

MAY 01 2015
 SEMINOLE COUNTY
 PLANS EXAMINER

Hampton Estates Old Lockwood Rd. Oviedo, Florida			
DWG BY	JA	CHK	JH
DATE	4/8/15	JOB NO.	4010
Drawing			6 OF 7



To the best of my knowledge, these drawings conform to the structural requirements of the 2010 Florida Building Code.

Florida Engineering Solutions
Today's Ideas • Tomorrow's Results
C.A. No. 25500 • 13825 Courtney Pl., Suite 105 • Miami Gardens, FL 33156
PH: 352 / 581 - 5311 FX: 352 / 581 - 5411 www.floridaingineer.com

PERMACAST

4015 21st Street East
Bradenton, Florida
PI: 941 / 256 - 6067
www.no1macdowell.com

Hampton Estates
Old Lockwood Rd.
Oviedo, Florida

DWG BY	JA	CHK	JH	Drawing 7 OF 7
DATE	4/8/15	JOB NO.	4010	

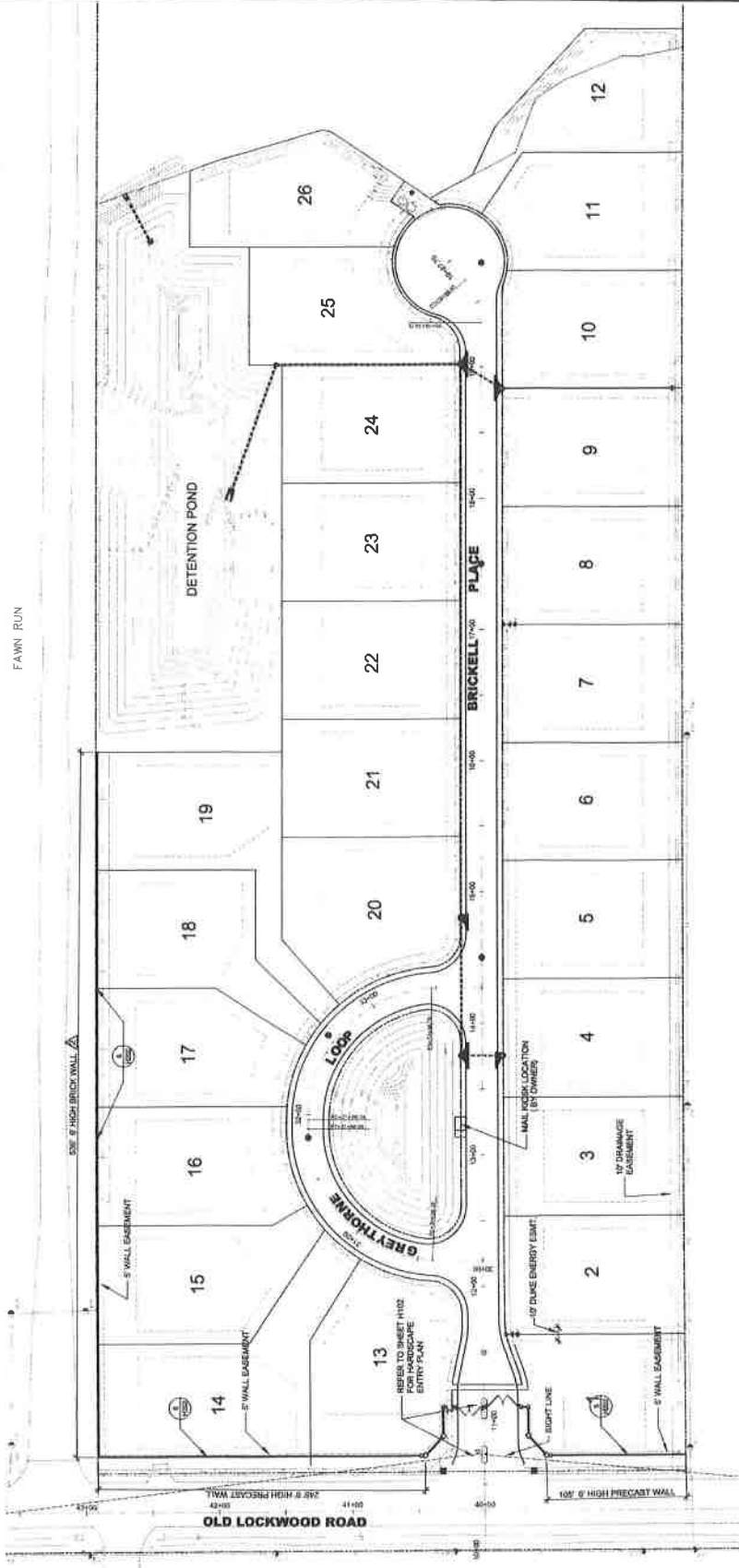
daily design group inc.
913 N Pineapple Ave., Winter Park, Florida 32789 (407) 740-7773 www.dailydesign.com

REV	DATE	DESCRIPTION
1	12-16-14	Response to owner comments
2	4-16-15	Response to owner comments
3		
4		
5		

Hardscape Site Plan
Heritage Homes
Hampton Estates
Brevard County, Florida

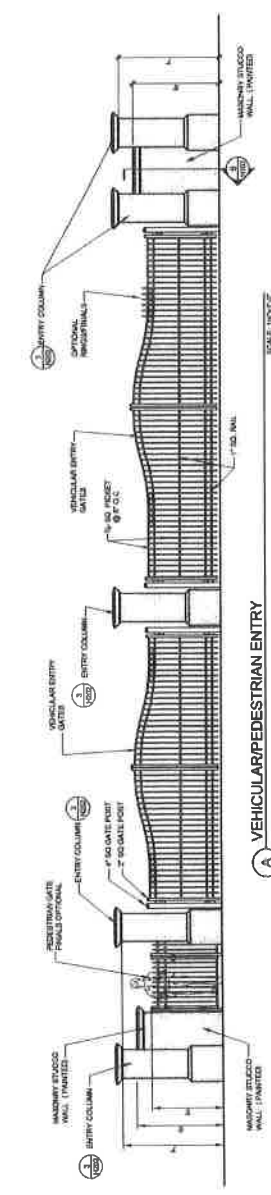
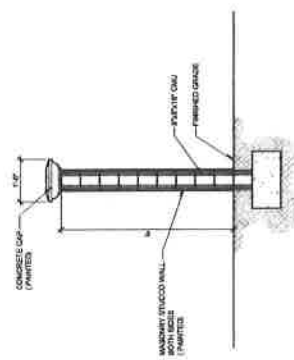


PROJECT NO.	14-06-000045
DATE	Nov. 2014
SCALE	1"=20'-0"
SHEET	14-01



Sanibel Co. Site Approval 14-06-000045
PROPERTY REPRESENTED BY: [Signature]
APPROVED FOR CONSTRUCTION
DATE: [Signature]
THE APPROVAL IS SUBJECT TO THE SANIBEL COUNTY LAND
DEPARTMENT'S REVIEW OF THE SITE PLAN AND THE
COMPLETION OF THE NECESSARY PERMITS AND
CONNECTIONS TO THE SANIBEL COUNTY WATER AND
SEWER SYSTEMS. THE APPROVAL IS NOT A GUARANTEE
OF THE ACCURACY OF THE INFORMATION PROVIDED
OR THE COMPLETION OF THE PROJECT. THE SANIBEL
COUNTY LAND DEPARTMENT IS NOT RESPONSIBLE FOR
ANY DELAYS OR COSTS INCURRED BY THE OWNER
DUE TO THE COMPLETION OF THE PROJECT.

REVIEWED
MM 8.1.2015
SANIBEL COUNTY
PLANNING DEPT.

[illegible]

REVIEWED
MAY 01 2015
SEMINOLE COUNTY
PLANS EXAMINER

7. Construction details shown on these plans are for design purposes only. The contractor shall provide shop drawings and structural engineering for review and approval of the Engineer. The Engineer's review of these drawings is not a warranty of performance or a representation of fitness for use.
8. Contractor shall be responsible for the sequencing of building operations and shall coordinate the construction of all components, permit acquisition and the preparation of building permits for the proposed improvements.
9. Plans and notes are based upon plans prepared by the Engineer and are not to be construed as a design or design engineer. The contractor shall notify the owner of any discrepancies between these drawings and other plans.
10. All dimensions shown are "to-center" unless otherwise noted.
11. Unless otherwise noted, all products identified on the plans are considered "as equal." Contractor may propose equivalent products and finishes to owner for review and approval.
12. All submittals shall be to be submitted. Owner will request submittals to be provided on data as part of the selection process.
13. Contractor to provide shop drawings for Owner review and approval prior to construction.
14. Submittals to verify brick & mortar color w/ Owner prior to installation.



REV	DATE	DESCRIPTION	BY
1	12-15-14	Repayment to Capital expenditures	MS
2	4-15-15	Repayment to Capital expenditures	MS

Hardscape Details
Meritage Homes
Hampton Estates
Seminole County, Florida

www.danieldesign.com

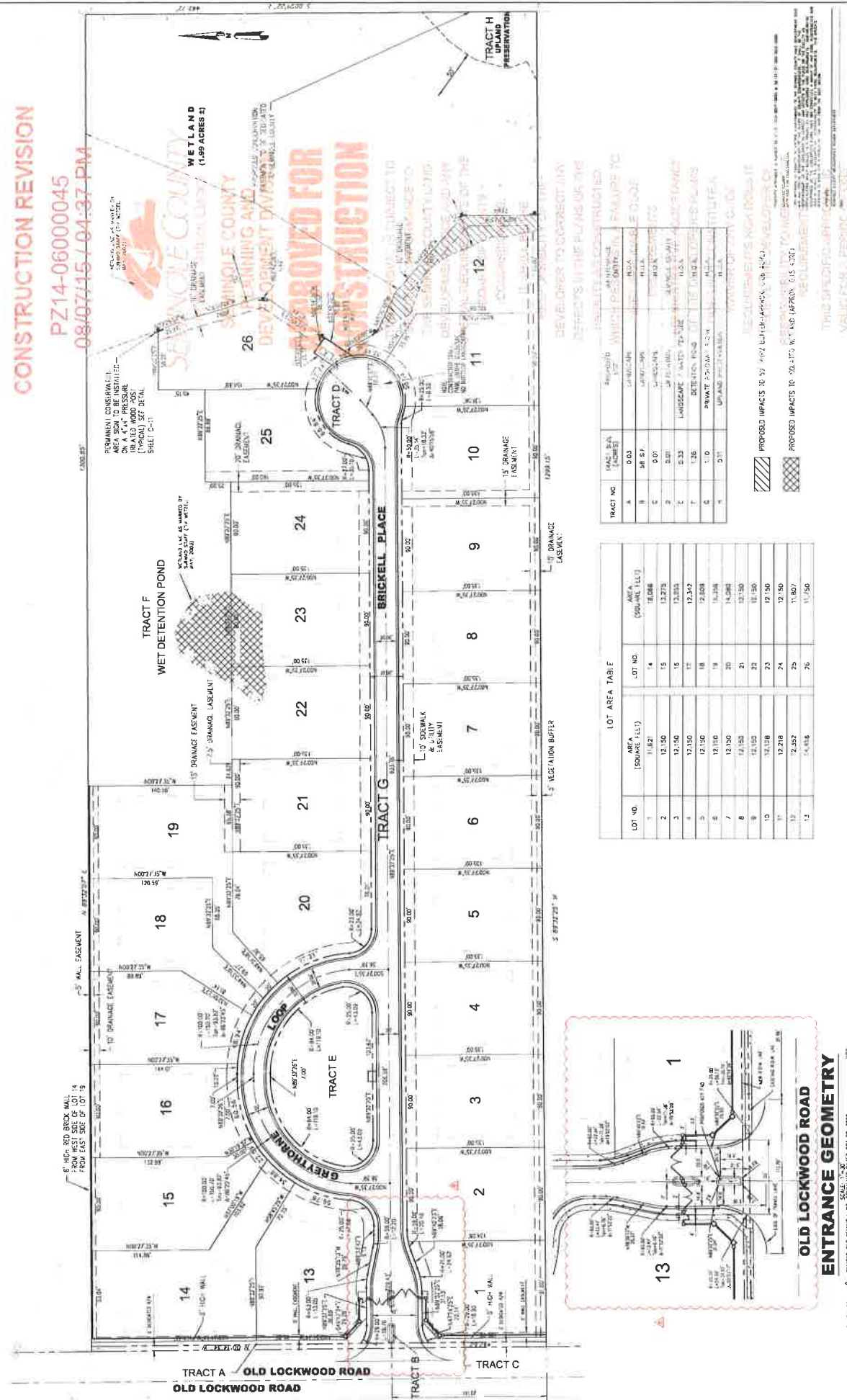


PROJECT NO. 14-22	SCALE AS SHOWN	DATE Nov. 2014	SHEET H-202
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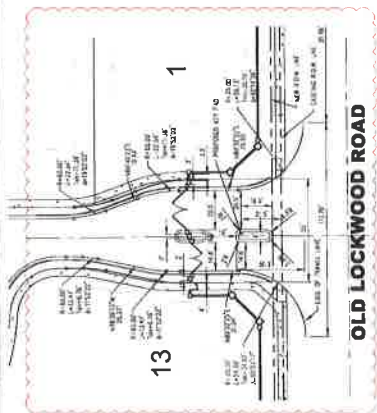
REVIEWED
MAY 01 2015
NEW HOLE COUNTY
PLANNING DEPT

08/07/15 10:43:37 PM



TRACT NO	TRACT AREA	PERCENTAGE	APPROXIMATE VALUE
1	0.03	100%	100%
2	58.54	100%	100%
3	0.01	100%	100%
4	2.00	100%	100%
5	0.33	100%	100%
6	1.26	100%	100%
7	0.01	100%	100%
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LOT AREA TABLE			
LOT NO.	AREA (SQUARE FEET)	LOT NO.	AREA (SQUARE FEET)
1	11,327	14	12,504
2	12,150	15	13,273
3	12,150	16	13,334
4	12,150	17	12,342
5	12,150	18	12,504
6	12,150	19	13,296
7	12,150	20	14,294
8	12,150	21	12,750
9	12,150	22	11,130
10	12,150	23	12,150
11	12,218	24	12,150
12	2,357	25	11,807
13	54,416	26	11,750



OLD LOCKWOOD ROAD
ENTRANCE GEOMETRY

PROPOSED IMPACTS TO ADJACENT LAND-USE AND TRAFFIC

PROPOSED IMPACTS TO ADJACENT W. AND TAPPAN GLEES

NOT VALID FOR REVISIONS ADDED IN THIS BLOCK		04-04-20 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 29, 2020 S.P. S.S.	05-17-14 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 27, 2014 S.P. S.S.	07-22-14 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 21, 2014 S.P. S.S.	08-25-14 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 21, 2014 S.P. S.S.	09-12-14 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 21, 2014 S.P. S.S.	07-25-15 REVISOR P.T. JOURNAL OF COMMENTS SAVED JAN. 21, 2015 S.P. S.S.	DATE REVISIONS BY CHECKED
 FLORIDA ENGINEERING GROUP Engineering the Future		HAMPTON ESTATES SUBDIVISION OLD LOCKWOOD ROAD OVIEDO, FLORIDA						
GEOMETRY PLAN		6327 S. Orange Avenue, Suite 200 Oviedo, FL 32669 Phone: 407-895-0324 Fax: 407-895-0325 www.feg-inc.com						
PROJECT NO. 14-044 DATE 7-1-14 DATE JUN 27, 2014 SHEET 1 OF 15		DESIGNED BY SJS DRAWN BY GNP CHECKED BY SJS APPROVED BY SJS		JUNE 27, 2014 C-5				
PLANNED BY DATE SHEET 1 OF 15		JUNE 27, 2014 C-5						

THIS INSTRUMENT PREPARED BY:

Name: Ovida Construction Group- Karina Ruiz

Address: 2785 Wright Road Suite 1117

Oviedo FL 32765

NOTICE OF COMMENCEMENT

Permit Number: _____

Parcel ID Number: 36-21-31-503-0G00-0000

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY: (Legal description of the property and street address if available)

TRACT G HAMPTON ESTATES PB 79 PGS 37 TO 40

2300 Brickell Place Oviedo FL 32765

2. GENERAL DESCRIPTION OF IMPROVEMENT:

Repair portion of subdivision wall

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name and address: Ellingsworth Residential Community Assn Inc 1320 N Semoran Blvd Ste 100 Orlando FL 32807

Interest in property: Owner

Fee Simple Title Holder (if other than owner listed above) Name: _____

Address: _____

4. CONTRACTOR: Name: Ovida Construction Group, Inc.

Phone Number: 407-571-9058

Address: 2785 Wrights Road Suite 1117 Oviedo FL 32765

5. SURETY (If applicable, a copy of the payment bond is attached): Name: _____

Address: _____

Amount of Bond: _____

6. LENDER: Name: _____

Phone Number: _____

Address: _____

7. Persons within the State of Florida Designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name: _____

Phone Number: _____

Address: _____

8. In addition, Owner designates _____ of _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes. Phone number: _____

9. Expiration Date of Notice of Commencement (The expiration is 1 year from date of recording unless a different date is specified) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)

(Print Name and Provide Signatory's Title/Office)

State of _____ County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____

by _____, Who is personally known to me ☐ OR

Name of person making statement

who has produced identification ☐ type of identification produced: _____

SEA

Notary Signature

CALCULATIONS FOR OVERTURNING MOMENT, 6' TALL BRICK WALL

Wind Load Per FL BLD CODE 2017, = 130 MPH

25 PSF x 1.0 Importance Factor = 25 PSF

Overturing Moment = WL (squared) / 2 = 450 F.P.

Weight of Wall =

4" Brick: 40 PSF x 6.67 = 267#

Footing: 1' x 2' x 150 = 300

Soil: .67 x 1.8 x 120 = 145

Total = 712#

Footing Properties

S = $bd(\text{squared})/6 = 1.0 (2.0)^2/6 = 1.0$

E = $410/712 = .56$

6e = 3.46

Soil Pressure (Assumed Bearing Capacity = 1,500 PSF)

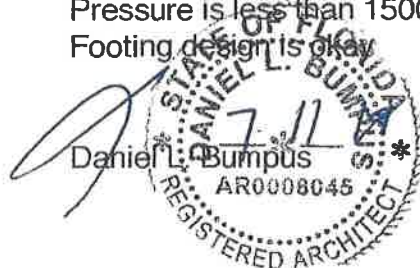
$P = V/BL (1 + 6e/L)$

$p1 = 712/2(1) (1 + 3.46/2) = 356(2.23) = 794 \text{ psf}$

$p2 = 712/2(1) (1 - 3.46/2) = 356(-0.73) = -260 \text{ psf}$

Pressure is less than 1500 psf

Footing design is okay



ARCHITECTURE INTERIOR DESIGN

603 FRONT STREET CELEBRATION, FL 34747 VOICE: 407.566.0200

AA C002051 AR008045

Bumpus and Associates, Inc.

July 11, 2019

KWA Engineers
1172 Pelican Bay Drive
Daytona Beach, FL 32119

RE: Hampton Estates Brick Wall Replacement

Attention: Hector Velazquez

Dear Mr. Velazquez:

I am sending revised drawings and backup calculations for the referenced brick wall in response to your review dated June 21, 2019, as follows:

1. The original brick wall noted number 5 bars 24" oc in the cells of the brick. It is my experience that a number 5 bar barely fits in the cell, and gives no room for grout to surround the bar. I normally specify number 4 bars with grout, but have recently been using the threaded rods with the nut and washer tightened to provide lateral support for the wall. I feel this method takes away the risk of grout not fully surrounding the bars due to imperfections in the construction.
2. I have changed the drawing to take the rod to the top course of brick.
3. The specification for epoxy has been added to the drawing.
4. I have included the calculations for the footing design showing compliance with the applicable Code.
5. In addition to your comments, I have changed the steel to grade 60, changed the wind speed to 130 mph per Code, added the Risk Factor I, removed the concrete specification since the footings are existing, and changed the building category to I.

Let me know if you need additional information or clarification.

Sincerely,

Daniel L. Bumpus



ARCHITECTURE INTERIOR DESIGN

603 FRONT STREET CELEBRATION, FL 34747 VOICE: 407.566.0200

AA C002051 AR008045

